



# Carson City Downtown Mixed-Use Zoning District Development Code



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## **I. HOW TO USE THIS DT-MU DEVELOPMENT CODE**

This consolidated Downtown Mixed-Use (DT-MU) Zoning District Development Code incorporates the various code requirements for the DT-MU district into a single document for ease of use by property owners, developers, citizens and city staff. Applicable Municipal Code Title 18 and Development Standards Division 6 sections are included in parenthesis with the title of each section of this document for reference.

The DT-MU District differs from other zoning districts within the City in that it is a “form-based” development district. This means that it is designed to facilitate a variety of uses within the DT-MU District, provided the uses are designed within the parameters of the district’s urban framework, which places a strong emphasis on the relationship of new development to the public realm and to surrounding neighborhoods. To accomplish these objectives the DT-MU District is comprised of the following components:

### **A. REGULATING PLAN**

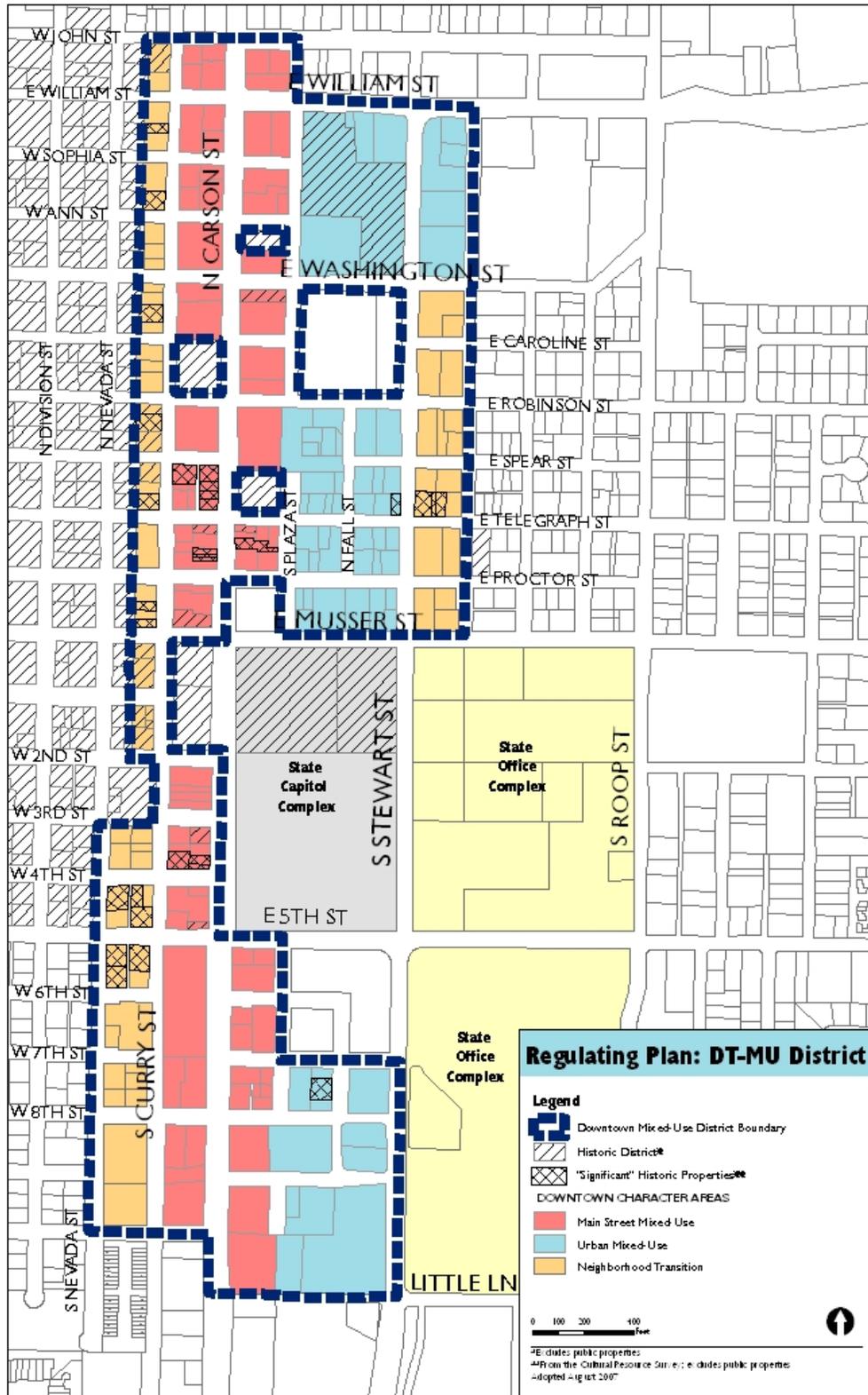
The Regulating Plan (illustrated on the following page) establishes boundaries for the three Downtown Character Areas: Main Street Mixed-Use, Urban Mixed-Use, and Neighborhood Transition. The purpose and intent of each character area is defined in Section II (e). The Regulating Plan should be consulted as a first step in the process, as it dictates where additional standards may apply as part of the next two sections.

### **B. GENERAL DEVELOPMENT STANDARDS AND GUIDELINES**

The General Development Standards and Guidelines establish common requirements and guidelines for all development within the DT-MU District, as well as those specific to a particular character area and/or use. The standards and guidelines address topics such as signage, lighting, parking, building design and character, and landscaping, among others.

### **C. BUILDING ENVELOPE STANDARDS**

The Building Envelope Standards set parameters for the desired building envelope within each character area. The standards address the relationship of buildings to the public realm and adjacent development, establishing building heights, setbacks, required transitions, and other requirements based on each character area. They also define a set of *building types* and their applicability within each character area.



## II. GENERAL PROVISIONS

### A. GENERAL INTENT (18.07.005)

The general intent of the DT-MU District is to:

- Allow for and encourage a broader mix of uses and a more urban pattern of development than exists in Downtown today, while respecting its historic context and creating a vibrant, pedestrian-friendly environment;
- Establish clear, quantitative standards to ensure that future development that occurs within Downtown is consistent with the community’s vision, as expressed by the policies contained within the City’s Master Plan;
- Safeguard the heritage of the City by preserving neighborhoods, structures, sites, and features that reflect elements of the City’s cultural, architectural, aesthetic, political, natural and engineering heritage;
- Assure that new construction, restoration, and rehabilitation projects are compatible with the character of Downtown;
- Enhance the visual and aesthetic appeal of the Downtown;
- Improve the timeliness and predictability of the development review process for Downtown infill and redevelopment.

### B. DOWNTOWN CHARACTER AREAS (DIVISION 6.4)

The DT-MU District is comprised of three Downtown Character Areas, the boundaries of which are depicted on the Regulating Plan diagram on the previous page. The Downtown Character Areas establish a framework for the scale of development that is desired in different locations within Downtown.

#### I. Purpose and Intent

##### a) MAIN STREET MIXED-USE

The purpose of the Main Street Mixed-Use Character Area is to provide opportunities for infill and redevelopment, while retaining the traditional “Main Street” character and scale of Carson Street. To support this objective, building heights will be limited along the Carson Street frontage and adjacent to the State Capitol Complex and other historic structures, but will be permitted to “step up” away from the street – providing for a broader range of development opportunities. Active uses, such as retail shops and restaurants, as well as urban residential units, are desired throughout the character area to promote a lively street environment and expanded hours of activity.

##### b) URBAN MIXED-USE

The purpose of the Urban Mixed-Use Character Area is to provide for urban-intensity mixed-use development in areas of Downtown that contain larger tracts of vacant or underutilized land. It is intended to provide opportunities for concentrations of active uses such as convention space, casinos, hotels, urban residential or similar uses which typically have more intensive land requirements than could be readily accommodated in other areas of Downtown. To support these objectives, building heights in this area are permitted to be higher than in other character areas within Downtown, provided appropriate transitions are

provided to the more modest scale of development found along Carson Street, the surrounding neighborhoods, and the State Capitol Complex.

**c) NEIGHBORHOOD TRANSITION**

The purpose of the Neighborhood Transition Character Area is to provide a more gradual transition between the more urban patterns of development desired in other locations within Downtown and the surrounding residential neighborhoods. To support this objective, building heights are much more restrictive than in other character areas and are required to “step down” towards the surrounding neighborhood and building design becomes less blocky and urban and more residential in character. Uses in this area will tend to be primarily a mix of office and residential, however, a broad range of uses is permitted provided the design of the uses is compatible with the established character of the area.

**C. APPLICABILITY (18.07.010)**

These design standards and guidelines shall apply to all new development, infill, redevelopment, signs, exterior modifications and major renovation projects occurring within the DT-MU district, except as provided in subsection C, Exemptions, or as otherwise noted within individual sections of this article. If a conflict should arise between the DT-MU District and other sections of the Municipal Code (as applied to a particular development), the requirements set forth in the DT-MU District shall prevail.

**D. EXEMPTIONS (18.07.015)**

Exemptions to the regulations contained in this Chapter may apply as follows:

- Projects involving only work, maintenance or repairs to the interior of a building or structure and that do not affect exterior appearances are exempt from this Chapter.
- Projects involving only ordinary maintenance or the replacement of similar or identical materials of an existing building or structure are exempt from this Chapter.
- Design-oriented elements of the Downtown Development Standards may be modified by the Director of Planning or designee (hereafter referred to as the Director) for parcels or structures located within the Historic District based upon recommendations from the Historic Resource Commission.

**E. DEVELOPMENT REVIEW PROCESS (18.07.020)**

**1. Review Process**

- Plans for projects within the DT-MU zoning district shall be reviewed by the Director upon an application for building permits.
- A Major Project Review is required pursuant to Section 18.02.100 (Major Project Review) prior to submitting for a building permit for projects with building area greater than 50,000 square feet.

**2. Alternative Compliance**

Upon request of an applicant, the Planning Commission may approve an alternative approach that may be substituted in whole or in part for a plan not meeting one or more of the development standards contained in this chapter or the Development Standards. This approach is intended to provide flexibility to meet the development standards in this ordinance

and shall apply in circumstances in which an alternative approach would provide a result that is equal to or superior to that which would be provided by the standards in this ordinance. It is not intended as a substitute for a variance when relief from a particular standard is desired. Economic considerations shall not be a basis for alternative compliance.

**a) PROCEDURE**

An alternative compliance application shall be prepared and submitted in accordance with the submittal requirements contained in Section 18.02.080 of the Municipal Code, Special Use Permits. In addition to other Special Use Permit requirements, the application shall clearly identify and discuss the modifications and alternatives proposed and the ways in which the plan will better accomplish the intent of a specific development standard or standards than would an approach that complies with such development standard(s).

**b) REVIEW CRITERIA**

To approve an alternative approach, the Planning Commission must find that the proposed alternative approach accomplishes the intent of the development standard(s) in question equally well or better than would an approach that complies with such development standard(s), and would not result in any significant environmental impacts or adverse effects on surrounding land uses.

**3. Denial; Appeal of Denial**

A decision by the Director or any portion thereof may be appealed to the Planning Commission, and a decision by the Planning Commission may be appealed to the Board of Supervisors in accordance with Section 18.02.060 of the Municipal Code. The Board of Supervisors decision is final.

**F. REQUIREMENTS FOR SIGNIFICANT STRUCTURES (18.07.030)**

In addition to the other requirements of this Chapter, any demolition, removal or relocation of a building or structure within the DT-MU district which is designated “significant” in the Carson City Cultural Resource Survey may begin only after approval by the Director or designee of plans for a replacement building or site improvement in conformance with the provisions of this Chapter. An application for demolition or removal of a structure classified as significant shall not be approved unless one or more of the following conditions exist:

- The structure or site is a hazard to public health or safety and repairs and stabilization are not physically possible;
- The site is required for public use which shall be of more benefit to the public than the cultural resource and there is not a feasible alternative location for the public use;
- It is not feasible to preserve or restore the structure, taking into consideration the economic feasibility of alternatives to the proposal; or
- Reconstruction or restoration is not physically or economically feasible and there has not been a documented history of neglect and lack of repairs which has resulted in this condition.

The Director shall make his or her recommendations and decisions on applications for proposed work based upon the guidelines established by the most current edition of the U.S. Department of Interior publication entitled “Secretary of Interior Standards for Rehabilitation,” as amended or modified by the Board by resolution.

### III. PERMITTED/PROHIBITED USES

This section sets forth the uses that are allowed within the DT-MU District. A mix of uses is encouraged within each character area and may be required in some locations, as specified in this section. Allowed uses are subject to the standards in Section III, General Development Standards and Guidelines and Section V, Building Envelope Standards.

#### A. PERMITTED/PROHIBITED USES (18.04.125; DIV. 6.5.1)

P= Primary Permitted Uses; X = Not Allowed; C= Conditional Use

Type of Use	DT-MU
<b>RESIDENTIAL USE GROUP</b>	
Bed and Breakfast Inn	<b>P</b>
Boarding and Rooming House	<b>P</b>
Dwelling, Single Family	<b>P</b>
Dwelling, Two-Family	<b>P</b>
Dwelling, Multi-Family	<b>P</b>
Live/work dwelling	<b>P</b>
<b>OFFICE/PROFESSIONAL USE GROUP</b>	
Bank (no drive-thru)	<b>P</b>
Bank (drive-thru)	<b>C</b>
Office	<b>P</b>
<b>COMMERCIAL/SERVICE/RETAIL USE GROUP</b>	
Adult Entertainment Facility	<b>X</b>
Alcoholic Beverage Sales (accessory to restaurant)	<b>P</b>
Alcoholic Beverages and Liquor, Retail	<b>P</b>
Amusement Arcade	<b>C</b>
Amusement Devices, Sales and Service	<b>C</b>
Automobile Service Station	<b>C</b>
Bakery	<b>P</b>
Bar	<b>P</b>
Brew Pub	<b>P</b>
Carpet and Floor Covering, Retail	<b>P</b>
Caterer	<b>P</b>
Child Care Facility	<b>C</b>
Christmas Tree Sales	<b>P</b>
Community/Regional Commercial/Office	<b>P</b>
Drugstore	<b>P</b>
Equipment Rental (within a building)	<b>C</b>

P= Primary Permitted Uses; X = Not Allowed; C= Conditional Use	
Type of Use	DT-MU
Farmers Market	<b>P</b>
Furniture and Home Furnishings, Office and Home (including Rental)	<b>P</b>
Gaming Establishment (non-restricted)	<b>C</b>
Gaming (limited)	<b>P</b>
Health and Fitness Club	<b>P</b>
Hotel	<b>P</b>
Motel	<b>C</b>
Outdoor Merchandise Display (subject to Section IV.H.(2)c.)	<b>P</b>
Outside Storage (accessory to primary use only)	<b>C</b>
Parking Lot, Public or Private (as a primary use)	<b>C</b>
Pharmacy	<b>P</b>
Restaurant, with or without outdoor seating	<b>P</b>
Restaurant, drive-in or drive-through	<b>C</b>
Retail and Personal Services	<b>P</b>
Second Hand Business	<b>X</b>
Street Vendors (subject to Development Standards)	<b>P</b>
Temporary Outdoor Display and Sales (Subject to Section IV(H), Streetscape)	<b>P</b>
Theater	<b>P</b>
Veterinary Clinic	<b>P</b>
Wedding Chapel	<b>P</b>
<b>CIVIC AND INSTITUTIONAL USE GROUP</b>	
Church, Temple, House of Worship	<b>P</b>
Convention Center	<b>P</b>
Fraternal Association	<b>P</b>
Jail or Correctional Facility	<b>X</b>
Library	<b>P</b>
Museum	<b>P</b>
Open Space	<b>P</b>
Park	<b>P</b>
Public Parking Garage	<b>C</b>
Public Restroom	<b>P</b>
Transit Passenger Facility	<b>P</b>
Public Plazas, Squares, and Community Amenities	<b>P</b>
Public Safety Facilities (police dispatch, fire substations)	<b>P</b>
Information Kiosk	<b>P</b>
School, College or University and Vocational	<b>C</b>

**B. CONDITIONAL USE CRITERIA: (18.07.025; DIV. 6.5.2)**

In addition to the findings listed in Section 18.02.080 of the Municipal Code, findings from a preponderance of evidence must indicate that the proposed use:

- Is consistent and compatible with the character and intent for the Downtown Character Area in which it is proposed;
- Incorporates or can be incorporated as part of a broader mix of uses to support an active "people-oriented" environment within the Downtown; and
- Can be integrated into the more urban development pattern in a manner that is consistent with Master Plan policies for Downtown.

**C. MIX OF USES (DIV. 6.5.3)**

The following standards and guidelines shall apply within the Urban Mixed-Use and Main Street Mixed-Use character areas only:

**1. Mix of Uses Encouraged**

To provide for a balance of commercial, office, residential, and civic uses as set forth above, new developments are encouraged to include a mix of two or more distinct types of permitted uses.

**2. Required Mix of Uses—Sites 50,000 square feet or larger**

All developments on sites that exceed 50,000 square feet (roughly 2 blocks) shall include at least one use from the Commercial/Service/Retail Use Group, as identified in the table above.

**3. Ground Floor Uses**

The incorporation of retail shops and/or restaurants is encouraged at the street level to promote a more active environment for pedestrians and to support residential and office uses located within the same building (on upper floors) or nearby. This configuration of uses is particularly encouraged along Carson Street and other major street frontages, as well as adjacent to major public spaces, where a high level of activity and visibility is desirable. If a limited portion of a structure's ground level will be devoted to retail or restaurant space, such space should be located along those facades adjacent to or most visible from primary street frontages or major pedestrian walkways.

**4. Parking Structures**

Parking structures shall be “wrapped” with retail, office, or residential uses along a minimum of 50% of their street frontage to provide visual interest and to create pedestrian activity at the street level. Active uses, such as retail shops and/or restaurants, should be focused along those facades adjacent to or most visible from primary street frontages or major pedestrian walkways. Parking structures as a primary site use are only permitted by Special Use Permit.

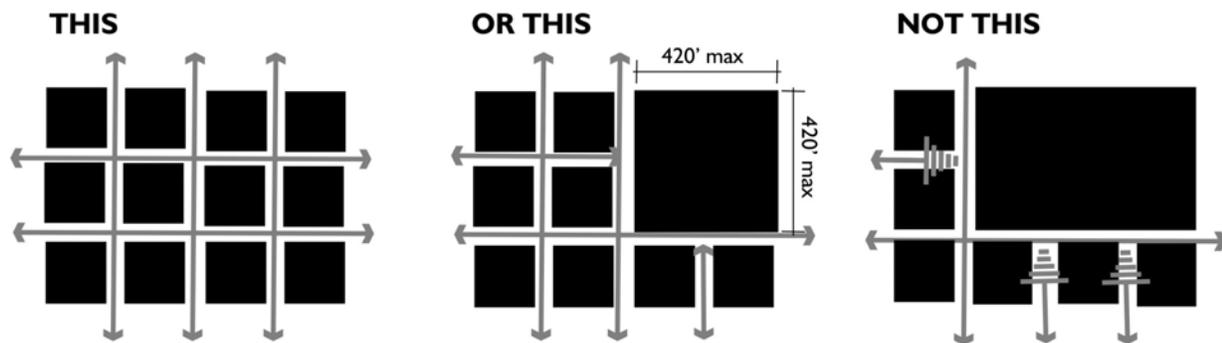
## IV. GENERAL DEVELOPMENT STANDARDS AND GUIDELINES

### A. VEHICULAR AND PEDESTRIAN CONNECTIONS (DIV. 6.6.1)

#### 1. Intent

- To maintain a well-defined pattern of urban blocks within Downtown that provide frequent connections to adjacent neighborhoods and serve as a framework for a varied mix of uses.
- To maintain frequent pedestrian connections that reflect Carson City’s traditional pattern of blocks while allowing for the incorporation of some larger developments and outdoor plazas that require the consolidation of 2 or more blocks, where appropriate.

#### 2. Standards



#### a) BLOCK SIZE

- (1) To the maximum extent feasible, new development shall work within the framework of Downtown’s existing pattern of blocks to avoid interrupting the grid pattern, creating large “superblocks,” and limiting access to adjacent neighborhoods.
- (2) Maximum block lengths resulting from block consolidation shall be limited to 420 feet.
- (3) Where block consolidation is proposed (by right-of-way abandonment), special consideration shall be given to vehicular circulation patterns, flood/drainage pathways, and view corridors to significant features in the area, such as the Capitol building and the mountains to the west.

### B. LIGHTING (DIV. 6.6.2)

#### 1. Intent

- To encourage a safe, appealing, and pedestrian-friendly nighttime environment within Downtown core.
- To promote the retention of the Downtown core’s unique nighttime character, as provided by its numerous lighted marques and animated lights.

- To ensure that new lighting is compatible with the established character of the Downtown and the surrounding neighborhoods.

### Lighting Examples:

Following are examples of the types of pedestrian-oriented lighting appropriate within the Downtown Mixed-Use District. These examples are provided for illustrative purposes only, all lighting shall be consistent with the regulations contained within this Chapter.



## 2. Standards

### a) EXTERIOR LIGHTING

- (1) All lighting shall comply with the Development Standards Division 1.3 (Light and Glare).
- (2) Low-scale, decorative lighting shall be used to accent architectural details, building entries, or signs. Additional, pedestrian-scaled lighting shall be provided to illuminate sidewalks, enhancing security and extending hours of activity.
- (3) All light sources shall be shielded to protect the City's dark skies and prevent spillover into adjacent residential neighborhoods and the City's Downtown.
- (4) Lighted marques and animated lighting, such as chase lights, exist in many locations within Downtown and are reflective of the City's gaming traditions. Generally, this type of lighting should be limited to that which exists today; however, new lights may be approved by the Director or designee on a project-by-project basis.
- (5) Building façade accent lighting is limited to an upward angle of 45 degrees and must be focused on the building to minimize light trespass onto adjacent properties and into the sky.

**b) STOREFRONT LIGHTING**

- (1) The incorporation of interior window lighting to highlight displays is strongly encouraged to provide off-hour interest along Carson Street.

**c) STREET LIGHTS**

- (1) All street lights, whether intended for pedestrian or auto-oriented purposes, shall be consistent with the City's Downtown Streetscape Plan.

**C. SIGNAGE (DIV. 6.6.3)****1. Intent**

- To encourage a diverse and visually interesting streetscape environment along Carson Street by allowing a variety of types of business signage, as traditionally found; and
- To ensure that signage is compatible with the pedestrian-oriented scale of Downtown.

**2. Standards****a) GENERAL**

- (1) All standards contained in this subsection shall be applied in addition to signage regulations contained in Division 4 of the City's Development Standards.
- (2) If a conflict between the two articles appears to exist, the standards contained in this article shall take precedence.

**b) MATERIALS**

- (1) Signs shall be constructed of durable, low-maintenance materials that complement the design and character of the building they serve.

**c) PREFERRED SIGNAGE TYPES**

- (1) The use of hanging signs is encouraged for non-gaming uses to reinforce the pedestrian-oriented scale of Downtown. Hanging signs and other sign types attached to the front of buildings are permitted to project into the public right-of-way, over the sidewalk, subject to the issuance of an encroachment permit. Hanging signs shall not:
  - (a) Exceed 24 inches in height and 3 feet in length; or
  - (b) Be located where less than 8 feet of clear height can be provided above the sidewalk from the overhang or awning from which they are suspended.
- (2) The creative use of symbols or other images indicative of the use contained within the building in the design of signs is strongly encouraged.
- (3) The use of permanent window signs is encouraged for non-gaming uses to reinforce the pedestrian-oriented scale of Downtown. Window signs shall not exceed 10% of the window area.

### Preferred Signage Types:

Following are examples of the types of pedestrian-oriented signage appropriate within the Downtown Mixed-Use District. These examples are provided for illustrative purposes only. All signs shall be consistent with the regulations contained within this Chapter and Division 4 of the City's Development Standards.

#### HANGING SIGN EXAMPLES:



#### WALL & AWNING MOUNTED SIGN EXAMPLES:



#### PROJECTING SIGN EXAMPLES:



#### WINDOW SIGN EXAMPLES:



**d) NEIGHBORHOOD TRANSITION CHARACTER AREA**

- (1) The following standards shall be applicable within the Neighborhood Transition character area only.
  - (a) The maximum freestanding sign height shall be six feet.
  - (b) Signs shall be designed to reflect the more residential scale and appearance of the Neighborhood Transition character area.

**PREFERRED SIGNAGE TYPES: NEIGHBORHOOD TRANSITION AREA**

Examples of signs designed to reflect a more residential setting, as desired within the Neighborhood Transition character area.

**e) WAYFINDING SIGNAGE**

- (1) All on-site wayfinding signage shall be consistent with the City's Wayfinding Signage Design Standards.

**f) A-FRAME SIGNS (SANDWICH BOARDS)**

- (1) One A-Frame sign is permitted per business per street frontage.
- (2) Sign must be placed against the building the business operates from or within the landscaped area between the sidewalk and the street.
- (3) A minimum of six feet of unobstructed sidewalk clearance must be maintained.
- (4) Signs must be professionally manufactured and shall not exceed 32 inches in width and 36 inches in height. However, chalkboard frames with erasable letters are also appropriate.
- (5) All signs shall be in good repair and neatly painted. No attachments to signs are permitted.
- (6) Signs shall not be displayed during non-business hours.
- (7) No sign shall be located where it obstructs the line of sight for passing motorists.

## **D. SUSTAINABLE DESIGN AND CONSTRUCTION (DIV. 6.6.4)**

### **1. Intent**

- To encourage the use of sustainable building materials and construction techniques in Downtown projects, through programs such as the US Green Building Council's LEED (Leadership in Energy Efficiency and Design) program;
- To encourage the use of new and emerging technologies that lead to increased energy conservation for Downtown uses; and
- To establish Downtown Carson City as a leader in the incorporation of innovative and sustainable design and construction techniques.

### **2. Standards**

#### **a) LEED (LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN)**

- (1) All new residential, commercial, and mixed-use buildings are required to meet basic LEED green building rating system criteria and are required to submit a LEED scorecard as part of the design review process.

## **E. OUTDOOR GATHERING SPACES/COMMUNITY AMENITIES (DIV. 6.6.5)**

### **1. Intent**

- To establish a series of safe and inviting outdoor gathering spaces where Downtown residents, employees, and visitors may gather, interact, rest, shop, and eat.
- To create an attractive public realm and vibrant pedestrian environment within Downtown's most urban character areas.
- To encourage the incorporation of public art, urban recreation spaces, and other community amenities into the design of outdoor gathering space.

### **2. Standards**

#### **a) IMPROVEMENTS IN PUBLIC SPACE**

- (1) Public and private improvements on any city-owned property within the DT-MU district, including without limitation streets, sidewalks, curbs, landscaping and outdoor gathering and urban recreation spaces must conform to the design standards in this Chapter and to the City's Downtown Streetscape Plan, as applicable.

#### **b) PROVISION OF ON-SITE AMENITIES**

- (1) Development on sites 50,000 square feet or less shall incorporate at least one of the following on-site outdoor gathering spaces or community amenities, and developments on sites larger than 50,000 square feet shall incorporate at least two of the following outdoor gathering spaces or community amenities and one additional amenity for each 25,000 square feet above 50,000 square feet of area, as highly-visible, easily-accessible, focal points:
  - (a) Patio or plaza with a minimum depth and width of 10-feet, and a minimum total area of 150 square feet.

- (b) Landscaped mini-parks or squares provided such park or green has a minimum depth and width of 10-feet and a minimum total area of 250 square feet.
  - (c) Protected pedestrian walkways; arcades; recessed corner entries with a minimum area of 100 square feet; or easily identifiable building pass-throughs containing window displays and intended for general public access.
  - (d) Outdoor public art, as approved by the city, in an area that is:
    - (i) Visible from an adjacent public sidewalk or street, and
    - (ii) Easily accessed for viewing by pedestrians (e.g., a sculpture mounted to an exterior building wall).
  - (e) Similar feature as approved by the Director or designee.
- (2) Outdoor gathering spaces provided in accordance with the above standard shall incorporate a variety of pedestrian amenities to promote regular use. Pedestrian amenities may include, but are not limited to, seating, lighting, special paving, landscaping, food and flower vendors, artwork, and/or special urban recreational features.

**c) BUILDINGS ADJACENT TO OUTDOOR GATHERING SPACES/COMMUNITY AMENITIES**

- (1) To ensure the visibility and security of outdoor gathering spaces and community amenities, buildings located adjacent to an existing or planned pedestrian plaza, patio, or urban park shall provide at least two of the following elements along the building wall abutting the outdoor gathering space or community amenities:
- (a) A building entry,
  - (b) Windows meeting the street frontage standards facing onto the outdoor amenity,
  - (c) Arcades along the edges of the outdoor amenity,
  - (d) Outdoor seating areas or cafes, or
  - (e) A similar feature that the Director finds will, to at least the equivalent degree, bolster security and encourage pedestrian use of the outdoor amenity.

**d) OUTDOOR DECKS AND BALCONIES**

- (1) Decks and balconies may project into the public right-of-way, over sidewalk areas, subject to the issuance of an encroachment permit.

### Examples: Outdoor Gathering Spaces/Community Amenities

Following are examples of the types of outdoor gathering spaces/community amenities desired within the Downtown Mixed-Use District. These examples are provided for illustrative purposes only, all outdoor gathering spaces/community amenities shall be consistent with the regulations contained within this Chapter.

#### PATIOS AND PLAZAS:



#### PARKS AND SQUARES:



#### PROTECTED PEDESTRIAN WALKWAYS, ARCADES, RECESSED CORNER ENTRIES:



#### PUBLIC ART:



**F. PARKING (DIV. 6.6.6)****1. Intent**

- To encourage the redevelopment of smaller sites and the preservation and adaptive reuse of historic structures in Downtown by providing a more flexible approach to parking;
- To minimize the visual and physical impact of surface parking lots on the Downtown pedestrian environment;
- To reduce the predominance of single-purpose, surface parking lots in Downtown; and
- To make efficient use of available on-street parking.

**2. Standards****a) MINIMUM REQUIRED ON-SITE PARKING**

<b>TYPE OF USE</b>	<b>MINIMUM # OF ON-SITE PARKING SPACES REQUIRED</b>
<i>Residential Uses</i>	
1 bedroom or studio unit	<i>1 space/residential unit</i>
2 bedroom unit	<i>1.25 spaces/residential unit</i>
3 or more bedroom unit	<i>1.5 spaces/residential unit</i>
Senior citizen housing	<i>0.5 per bedroom plus 1 per employee for the largest shift.</i>
Guest Parking	<i>1 space per 8 dwelling units.</i>

<b>TYPE OF USE</b>	<b>MINIMUM # OF ON-SITE PARKING SPACES REQUIRED</b>
<i>Commercial/Retail/Office Uses</i>	
Single use building (greater than 30,000 s.f.)	3 spaces per 1,000 square feet
Mixed-use building (greater than 30,000 s.f.)	2 spaces per 1,000 square feet
Single use building (5,000-30,000 s.f.)	2.75 spaces per 1,000 square feet
Mixed-use building (5,000-30,000 s.f.)	1.75 spaces per 1,000 square feet
Single use building (less than 5,000s.f.)— new construction	2.5 spaces per 1,000 square feet
Mixed-use building(less than 5,000s.f.)— new construction	1.5 spaces per 1,000 square feet
Existing building	<i>No additional parking is required for a change of use in an existing building, even where the existing parking may be nonconforming. Additional parking must be provided in accordance with these standards for any building addition area that adds new habitable or leasable floor area. Amount of additional parking to be provided shall be calculated based upon <b>new square footage only</b>.</i>

**b) FEE-IN-LIEU**

- (1) Applicants may make an in-lieu payment (as defined within the Carson City Downtown Parking Strategy) for construction, maintenance and operation of public off-street parking or on-street parking instead of providing the full number of off-street parking spaces as required above. The portion of required parking eligible for an in-lieu payment shall vary according to the type of use and the size of the development as follows:

<b>TYPE OF USE</b>	<b>PERCENTAGE OF REQUIRED OFF-STREET PARKING SPACES ELIGIBLE FOR IN-LIEU PAYMENT</b>
<i>Residential Uses</i>	
Guest Parking Only	Up to 25-percent
<i>Commercial/Retail/Office Uses</i>	
Single use building (greater than 30,000 s.f.)	Up to 15-percent
Mixed-use building (greater than 30,000 s.f.)	Up to 25-percent
Single use building (5,000-30,000 s.f.)	Up to 25-percent
Mixed-use building (5,000-30,000 s.f.)	Up to 50-percent
Single use building (less than 5,000s.f.)— new construction	Up to 50-percent
Mixed-use building (less than 5,000s.f.)— new construction	Up to 75-percent
Existing building	Up to 100-percent of additional parking required in conjunction with a building addition area that adds new habitable or leasable floor area.

**c) SHARED PARKING**

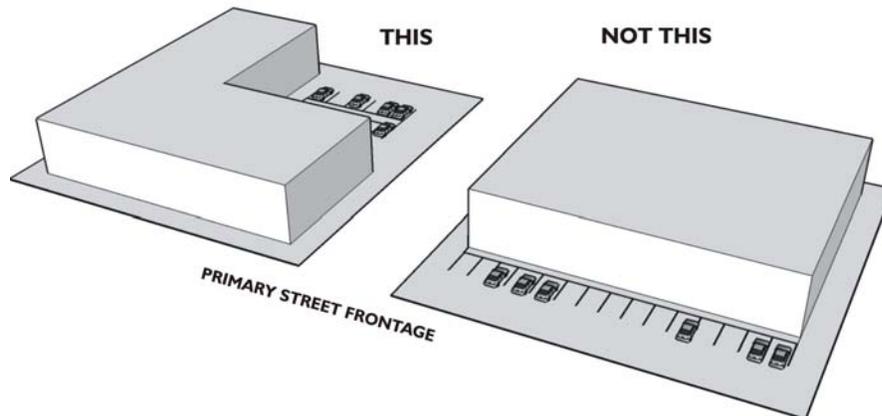
- (1) The amount of off-street parking required may be reduced by an amount determined through a parking demand study establishing that sufficient parking is or can be met by the subject uses through shared parking. The parking demand study shall provide information and evidence about the anticipated parking demand at peak times during the day and the distance relationship between available shared parking spaces and the specific uses served.

**d) TANDEM PARKING**

- (1) Required parking for residents of residential developments may be provided in the form of tandem parking when at least one space is within an enclosed garage or parking structure.

**e) PARKING LOCATION**

- (1) Surface parking shall be located behind and/or to the side of buildings. Surface parking will not be permitted between the building and the primary street frontage.

**G. LANDSCAPING AND SCREENING (DIV. 6.6.7)****1. Intent**

- To create a more attractive, inviting, streetscape environment within Downtown;
- To reduce the visual prominence of surface parking within Downtown; and
- To reinforce the more urban character of the Downtown streetscape through the use of less space-intensive, structural screening methods.

**2. Standards****a) PARKING LOT SCREENING**

- (1) All surface parking lots visible from the public right-of-way shall be screened using one of the following methods, unless otherwise noted in (3), below:
- (a) A low masonry wall in combination with landscaping; or
  - (b) A wrought iron or other ornamental fence in combination with landscaping.
- (2) To satisfy the above standard:
- (a) Landscaping shall be planted between the wall and the public right-of-way, sidewalk, or boundary; and
  - (b) Walls, fences, and landscaping shall not exceed 3.5 feet in height to adequately screen most car headlights while maintaining clear visibility into and out of the parking lot.

- (3) Developments of less than 10,000 square feet, or that involve the renovation of an existing building may use an ornamental fence or wall as a standalone screening mechanism to meet the surface parking screening requirement above to maximize available space.

### Parking Lot Screening

THIS	NOT THIS
	
<p>① Surface parking is screened from street and pedestrian realm using a wrought iron fence in combination with landscaping.</p> <p>② Fence and landscaping do not exceed 3.5 feet in height to maintain visibility in and out of parking area.</p>	<p>③ Consistent landscape area between sidewalk and street softens appearance of surface parking and creates safe, inviting environment for pedestrians.</p> <p>④ Surface parking is not screened from street or pedestrian realm. No landscape area is provided between sidewalk and street, creating an uninviting and potentially unsafe environment for pedestrians.</p>

#### b) TRASH COLLECTION AREAS

- (1) Trash enclosure area shall be provided or available to serve any new development or building expansion. Unscreened storage of trash receptacles is prohibited.
- (2) Trash collection areas shall be screened from public rights-of-way and adjacent uses through the use of a six-foot masonry wall enclosure and gate.
- (3) Trash enclosures should be compatible with the architectural character of the building they serve and should incorporate similar materials and colors.

## H. STREETScape (DIV. 6.6.8)

### I. Intent

- To create a safe, inviting streetscape environment for pedestrians in Downtown;
- To ensure that streetscape enhancements provided by infill and redevelopment projects are consistent with the City's Downtown Streetscape Plan, and the surrounding development context, as applicable.

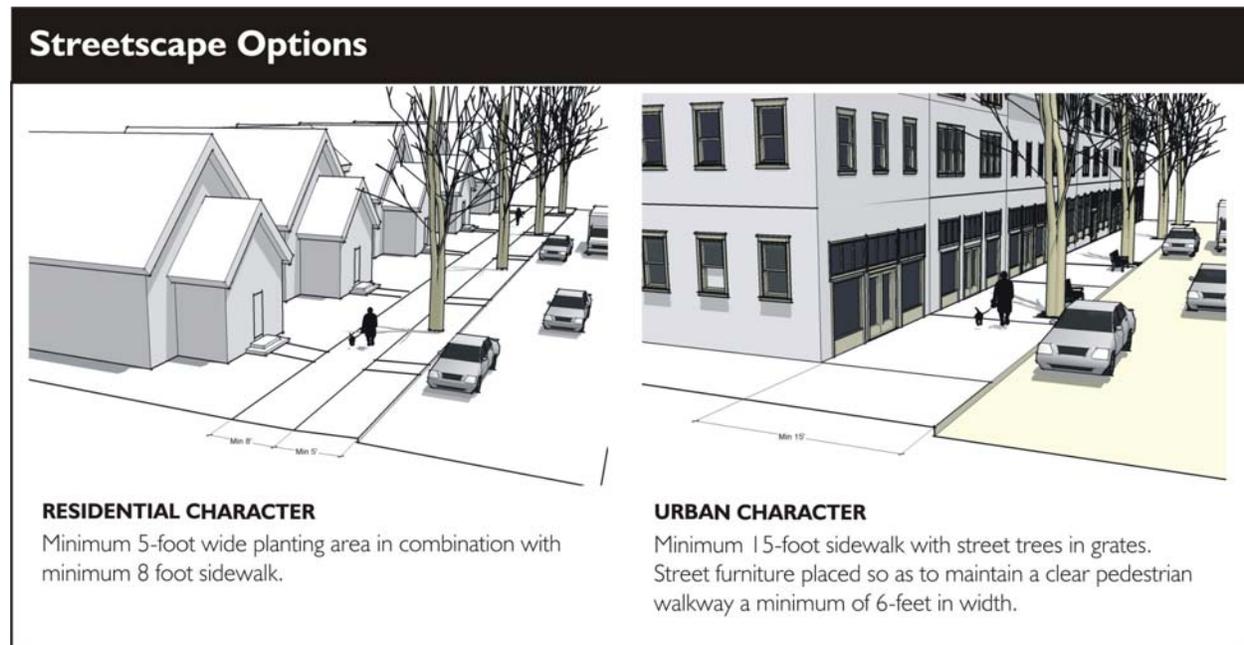
## 2. Standards

### a) DOWNTOWN STREETScape PLAN

- (1) Streetscape treatments (including street furniture) for all developments shall be provided in accordance with the City's Downtown Streetscape Plan, as applicable.

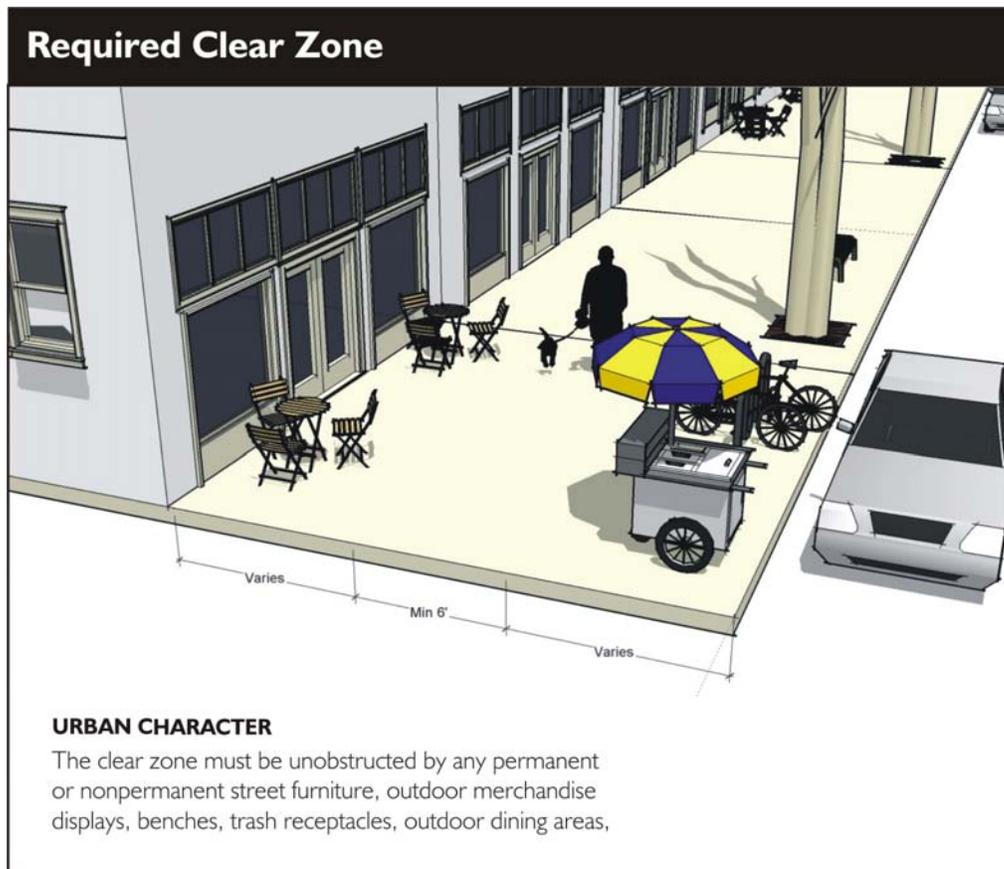
### b) STREETScape

- (1) Prior to the completion of the City's Downtown Streetscape Plan, and for all other properties not addressed within the completed Downtown Streetscape Plan, streetscape shall be provided along all street frontages as follows:
  - (a) Residential Character: Minimum 5 foot-wide planter area in combination with minimum 8 foot sidewalk; or
  - (b) Urban Character: Minimum 15-foot sidewalk with street trees in grates.
- (2) Where angled, on-street parking currently exists or is specified within the City's Downtown Streetscape Plan and the above configurations are not feasible, alternative streetscape configurations may be approved by the Director.
- (3) Street furniture shall be placed so as to maintain a clear pedestrian walkway that is a minimum of 6 feet in width. Street furniture includes benches, trash receptacles, outdoor dining areas, and other pedestrian amenities.



### c) CLEAR ZONE

- (1) A clear zone a minimum of 6-feet in width that is unobstructed by any permanent or nonpermanent street furniture, outdoor merchandise displays, benches, trash receptacles, outdoor dining areas, and other pedestrian amenities must be maintained.



**d) OUTDOOR MERCHANDISE DISPLAYS**

- (1) Each business shall be limited to one outdoor merchandise display. Outdoor merchandise displays may include:
  - (a) A single display table a maximum of 3 feet wide and 6 feet in length;
  - (b) A mannequin used to display clothing or other merchandise sold within the store;
  - (c) A grouping of furniture or other merchandise sold within the store that occupies a portion of the sidewalk not more than 3 feet in width and 6 feet in length; or
  - (d) Similar display as approved by the Director.
- (2) Outdoor merchandise displays must be placed against the building the business operates from or within the landscaped area between the sidewalk and the street.
- (3) Outdoor merchandise displays shall be in compliance with Clear Zone provisions, as specified in Section IV.H.(2)c., above.
- (4) Outdoor merchandise displays shall not be displayed during non-business hours.
- (5) No outdoor merchandise display shall be located where it obstructs the line of sight for passing motorists.

## **I. STREET AND SIDEWALK VENDING (DIV. 6.6.9)**

### **1. Intent**

- To establish a set of baseline standards for the regulation of street vendor carts within Downtown to ensure that they complement existing retail businesses, are compatible with the character of downtown, and expand the range of services available to Downtown workers, visitors, and residents; and
- To establish a framework for the long-term development of a formal street and sidewalk vending program to enliven the Downtown streetscape.

### **2. Standards**

#### **a) VENDOR CARTS**

- (1) Street vendors are permitted in the DT-MU District only after approval by the Redevelopment Advisory Citizens Committee. Street vendors should have a positive impact upon the Downtown, as determined by an evaluation of the application against all relevant provisions of this title. The following minimum standards shall apply for all such requests:
  - (a) Street vendors shall be approved at a specific, permanent location.
  - (b) Carts used for street vending shall be on wheels and shall not be larger than three feet by five feet.
  - (c) Only consumable products may be sold from a street vendor cart.
  - (d) If located within a City or State right-of-way, encroachment permits and liability insurance shall be required.
  - (e) If adjacent to or in front of a business not their own, the street vendor cart operator shall be responsible for obtaining permission of the affected business and property owner and shall submit evidence of such permission.
  - (f) If adjacent to or in front of a property listed in the Carson City Historic District, review, approval, and compliance with conditions of the HRC shall be required.
  - (g) Electrical and gas services require review and approval of the Building and Engineering Divisions and the Fire Department.
  - (h) Approval of the Health Department is required for all food vendors.

#### **b) VENDING REVIEW BOARD**

- (1) The Redevelopment Advisory Citizens Committee shall serve as the Vending Review Board to review all applications for street vending.

## **J. BUILDING DESIGN AND CHARACTER (DIV. 6.6.10)**

### **1. Intent**

- Allow for the incorporation of a variety of architectural styles while ensuring that infill and redevelopment relates to the historic traditions of Downtown Carson City and its surrounding neighborhoods, in terms of its basic form, composition of building elements, and quality of materials;

- Establish a high quality appearance for Downtown infill and redevelopment through the incorporation of architectural detailing, façade articulation, and other features designed to provide a more distinct character and pedestrian scale;
- Ensure that infill and redevelopment contributes towards the vision set forth for Downtown by the City’s Master Plan.

## 2. Standards

### a) MATERIALS

- (1) Primary building materials shall be durable and project an image of permanence typical of Downtown’s traditional masonry storefronts and public buildings. Appropriate materials include, but are not limited to:
  - (a) Brick, stone, or other masonry products;
  - (b) Steel;
  - (c) Stucco;
  - (d) Cast concrete;
  - (e) Split face block;
  - (f) Composite siding; or
  - (g) Comparable material approved by the Director.

### b) FOUR-SIDED DESIGN

- (1) All building facades shall be designed with a similar level of design detail. Blank walls void of architectural detailing shall not be permitted.
- (2) Exceptions from the above standard may be granted for those areas of the building envelope that the applicant can demonstrate are not visible from adjacent development and streets.
- (3) Entrance locations should be placed with consideration of business-to-business pedestrian access and the relation to pedestrian crossings for safety.

### c) STREET LEVEL INTEREST/TRANSPARENCY

- (1) A minimum percentage of the total area of each ground floor building façade which faces a street, plaza, park, or other public space, shall be comprised of transparent window openings to allow views of interior spaces and merchandise, to enhance the safety of public spaces by providing direct visibility to the street, and to create a more inviting environment for pedestrians. Minimum percentages vary according to Character Area and use as follows:
  - (a) *Main Street Mixed-Use Character Area*: Fifty percent minimum.
  - (b) *Urban Mixed-Use Character Area*:
    - (i) *Non-Residential Uses*: Fifty percent minimum.

**Examples: Materials**

Primary building materials shall be durable and project an image of permanence typical of Downtown's traditional masonry storefronts and public buildings. These examples are provided for illustrative purposes only. All materials shall be consistent with the regulations contained in this Chapter.



**Street Level Interest/Transparency**

**NOT THIS**



**1** Buildings that lack transparency do not create an inviting and interesting streetscape for pedestrians.

**THIS**



**2** Display windows provide transparency at the street level of these retail storefronts, creating an inviting environment for pedestrians.

**Primary Building Entrances**

Following are examples of building entrances made easily discernable through the use of architectural elements.



- (ii) *Residential Uses*: Thirty-five percent minimum.
- (c) *Neighborhood Transition Character Area*:
  - (i) *Non-Residential Uses*: Forty percent minimum.
  - (ii) *Residential Uses*: Thirty percent minimum.
- (2) For the purposes of the above standard, all percentages shall be measured using elevation views of the building plan and “ground floor” shall be measured from floor plate to floor plate.
- (3) The following standards shall apply to all ground floor windows:
  - (a) *Non-residential uses*: Glazing on all ground floor windows shall be transparent.
  - (b) *Residential uses*: Glazing on ground floor windows shall be transparent to allow views into common hallways, foyers, or entryways, but may be translucent or opaque when necessary to protect the privacy of ground-floor spaces used for dwelling purposes.
  - (c) Black or mirrored glass is prohibited.

**d) PRIMARY BUILDING ENTRANCES**

- (1) Primary building entrances shall be clearly distinguished through the use of one or more of the following architectural features:
  - (a) Covered walkways or arcades;
  - (b) Awnings, canopies, or porches; and/or
  - (c) Projected or recessed building mass.

**e) PARKING STRUCTURES/PODIUM PARKING**

- (1) Facades of single-use parking structures (e.g., no retail or residential) shall be articulated through the use of three or more of the following architectural features;
  - (a) Windows or window shaped openings;
  - (b) Masonry columns;
  - (c) Decorative wall insets or projections;
  - (d) Awnings;
  - (e) Changes in color or texture of materials;
  - (f) Approved public art;
  - (g) Integrated landscape planters; or
  - (h) Other features as approved by the Director.
- (2) Openings in parking structures and podium parking areas shall be designed to screen views of parked cars from surrounding properties through the use of architectural screens or similar features.

**f) RESIDENTIAL GARAGE LOCATION AND DESIGN**

- (1) Where lot configurations permit, residential garages shall be located in the rear yard and accessed from the alley or a narrow drive from the street, as traditionally found in Downtown’s residential neighborhoods.
- (2) Attached front-loading garages shall be recessed behind the front façade of the home a minimum of 10 feet.

**g) SCREENING OF UTILITY/MECHANICAL EQUIPMENT**

- (1) Roof mounted mechanical equipment shall be screened from public rights-of-way and adjacent properties through the use of parapet walls, equipment wells, architectural screens, or similar features that may be integrated into the overall design of the building.
- (2) All equipment shall be located below the highest vertical element of the building.
- (3) Wall-mounted air conditioning units shall be integrated into the design of the building and/or screened.

**K. GUIDELINES FOR THE RENOVATION AND RESTORATION OF EXISTING STRUCTURES (DIV. 6.6.11)**

**I. Intent**

- To promote the preservation of existing Downtown buildings that have historic characteristics, although they are not included as part of the Historic District.
- To promote and establish appropriate procedures for the cleaning, renovation, and restoration of original Downtown storefronts that have been substantially altered and obscured during previous remodeling efforts.

**Inappropriate Alterations**

NOT THIS	THIS
	
<p><b>1</b> The use of light gauge metal, steel panels, or other materials to make two or more storefronts appear to be a larger structure should be avoided.</p>	<p><b>2</b> Upper story doors and windows and street-level storefronts that have been previously covered, sealed, or filled in should be restored to their original proportions during the rehabilitation process.</p>

## 2. Guidelines

### a) INAPPROPRIATE ALTERATIONS

- (1) Remodeling with unauthentic false historical details, trims, and moldings creates a confusing historical context for the community and should be avoided.
- (2) The use of light gauge metal, steel panels, or other materials to make two or more storefronts appear to be a single, larger structure should be avoided. If panels are already in place, upper story windows, storefronts, doors, cornices, and other trim materials which were removed to accommodate the panels should be researched and replaced during the rehabilitation process.
- (3) Upper story doors and windows and street-level storefronts that have been previously covered, sealed, or filled in should be restored to their original proportions and appearance during the rehabilitation process.
- (4) Transom windows which were covered over when suspended acoustical tiled ceilings were installed, or for other reasons, should be uncovered during the rehabilitation process.

### b) CLEANING

- (1) Abrasive cleaning techniques such as sandblasting should be avoided on the exterior of Downtown buildings. Such cleaning methods cut into the building's materials, causing irreversible damage.
- (2) Sandblasted buildings that have not severely deteriorated should be painted to slow the process. Care must be taken to avoid varnishes, enamels, polyurethane sealants and other products impervious to moisture penetration. Sealants will lock moisture inside the masonry and prevent evaporation ultimately causing severe moisture damage.
- (3) As an alternative to abrasive cleaning techniques, the following techniques should be considered:
  - (a) A gentle water wash in combination with a natural bristle brush used to gently scrub the surface of the building. If necessary, a mild detergent can be used, but must be thoroughly rinsed.
  - (b) For heavy grime or layers of paint, a chemical cleaner may be necessary. Alkaline or acidic cleaners are available; however, chemical cleaning should always be done by experienced professionals.
  - (c) A steam cleaning process may also be appropriate for certain building materials.
- (4) Whether water, steam, or chemical cleaner is used, always clean a test patch area first to judge the reaction, or consult a professional in the field. A list of local professionals is available at the Planning Division.
- (5) All debris and cleaning materials should be contained on site and not allowed to flow into the storm drain system.

### c) REPAIR, REMOVAL, AND REPLACEMENT

- (1) Removal of materials or structures including oversized signs, windows or door

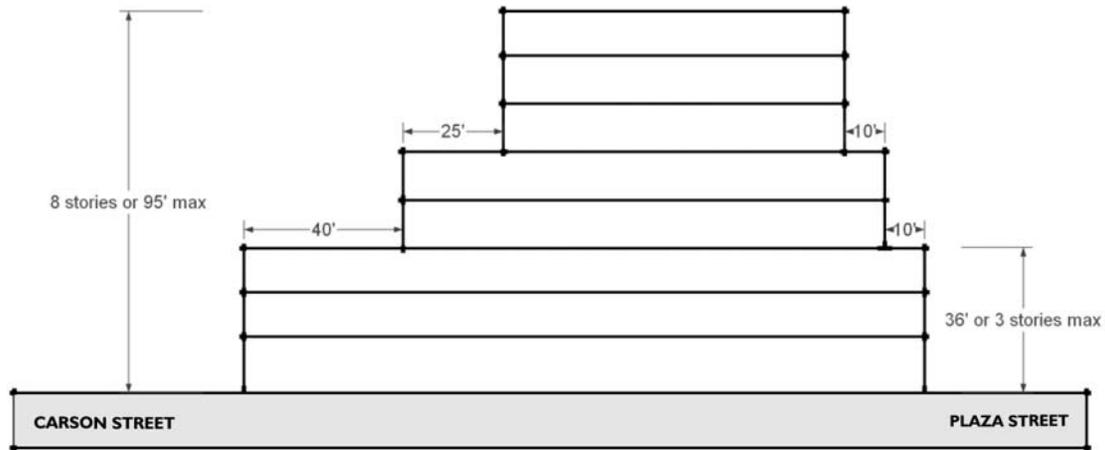
coverings, or metal slipcovers should not take place until the following steps are followed:

- (a) Inventory and photograph or draw accurate elevations of the elements to be removed.
  - (b) Examine each element and determine how it is attached and anchored to the building. If possible, remove a small portion of a slipcover to determine how the rest is anchored.
  - (c) Create a plan for repair of original material that was damaged when alterations were made; drilled holes for anchor bolts, lost or damaged decorative elements, accumulated dirt and rust stains are the most common types of damage.
- (2) If a decorative element such as a cornice or trim around a window was removed or altered to accommodate earlier renovation efforts, it may require replication by a skilled artisan or replacement with a simpler element. Catalogs of companies that specialize in replicating historic building architectural details are available from the Planning Division.
  - (3) If the original element is lost and no photo documentation is present, it is recommended that the element be substituted with a more conservative design element.
  - (4) Materials used to renovate existing buildings should be of a texture, scale, and color that are compatible with the original primary building material. Replacement parts should be selected so as to blend in with existing ones; rather than calling attention to themselves.
  - (5) Native stone and masonry should be retained on existing buildings when possible.
  - (6) Missing or damaged architectural features that are to be replaced should blend with the building fabric and duplicate the old or match it as closely as possible. However, these new materials should not be antiqued or made to look old when they are not.
  - (7) Retention of original historic building elements is encouraged over replacement. When replacement is required, attention should be given to matching the building's original window treatment as closely as possible.

## V. BUILDING ENVELOPE STANDARDS (DIV. 6.7)

### A. Main Street Mixed-Use Character Area: Height Specifications and Required Transitions

#### CARSON STREET: EAST SIDE



#### MAXIMUM HEIGHT

Maximum height is 8 stories or 95 feet.

**Exception:** Maximum height on blocks between Proctor and Musser Streets and 5th and 6th Streets is 5 stories or 60 feet maximum to preserve views to Capitol.

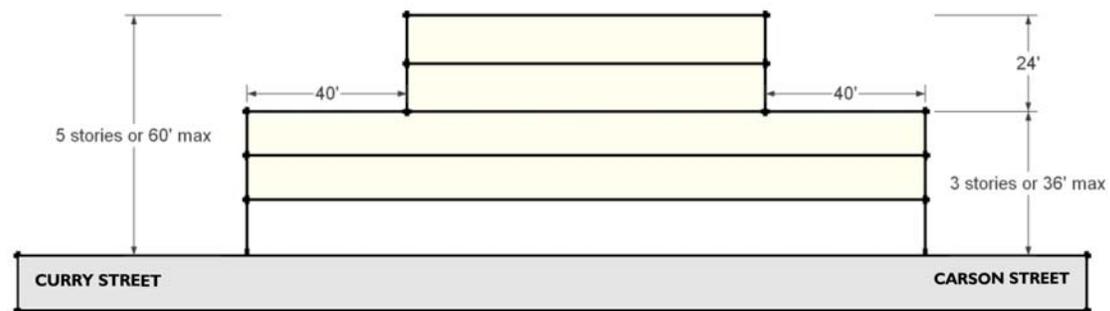
#### REQUIRED TRANSITIONS: CARSON STREET

Maximum height allowed along the Carson Street frontage is 3 stories or 36 feet. Stepback of 40 feet required before additional 24 feet may be achieved. Additional stepback of 10 feet required before maximum height may be achieved.

#### REQUIRED TRANSITIONS: PLAZA STREET

Maximum height allowed along the Plaza Street frontage is 3 stories or 36 feet. Stepback of 10 feet required before additional 24 feet may be achieved. Additional stepback of 10 feet required before maximum height may be achieved.

#### CARSON STREET: WEST SIDE (EXCEPT BETWEEN 3RD AND 8TH)



#### MAXIMUM HEIGHT

Maximum height is 5 stories or 60 feet.

#### REQUIRED TRANSITIONS: CURRY STREET

Maximum height allowed along the Curry Street frontage is 3 stories or 36 feet. Stepback of 40 feet required before additional 24 feet may be achieved.

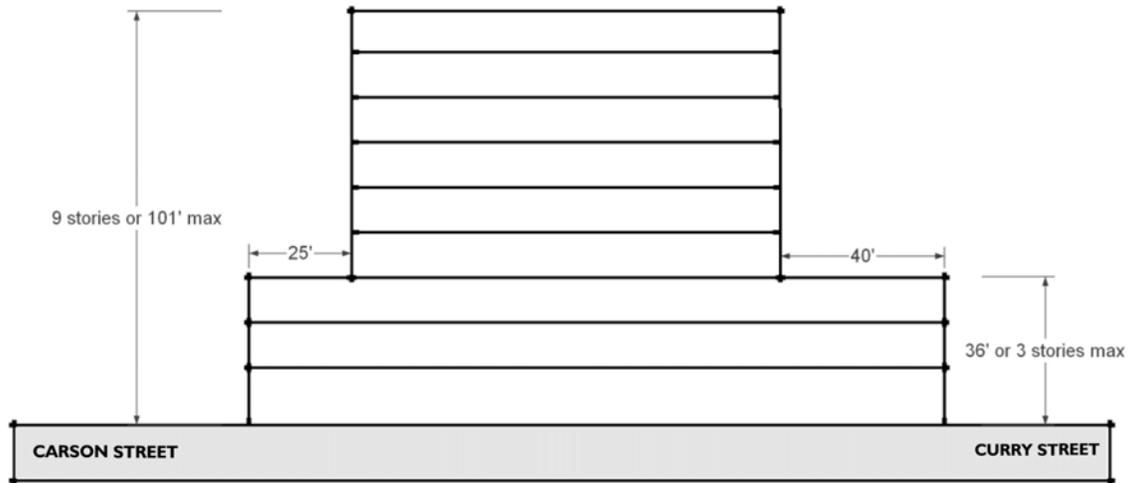
#### REQUIRED TRANSITIONS: CARSON STREET

Maximum height allowed along the Carson Street frontage is 3 stories or 36 feet. Stepback of 40 feet required before additional 24 feet may be achieved.

**Exceptions:** Between 3rd and 8th Streets additional height is permitted, see illustration on following page.

### A. Main Street Mixed-Use Character Area: Height Specifications and Required Transitions

#### CARSON STREET: BETWEEN 3RD AND 8TH



**MAXIMUM HEIGHT**

Maximum height is 9 stories or 101 feet.

**REQUIRED TRANSITIONS: CARSON STREET**

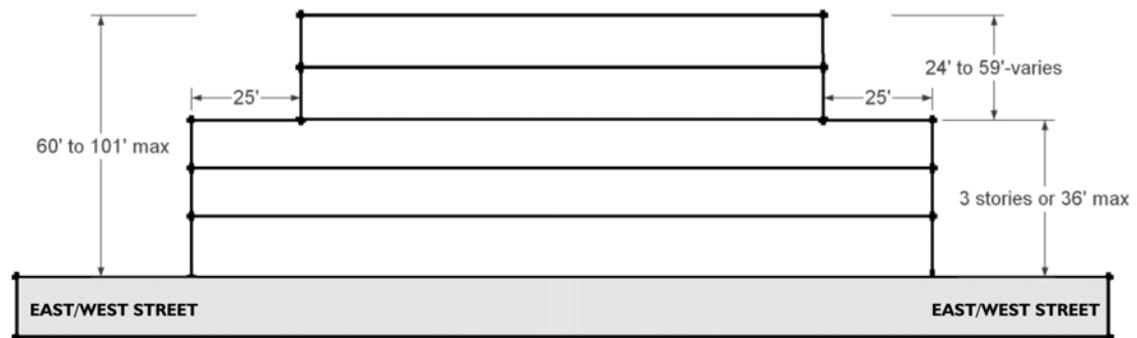
Maximum height allowed along the Carson Street frontage is 3 stories or 36 feet. Stepback of 25 feet required before maximum height may be achieved.

**REQUIRED TRANSITIONS: CURRY STREET**

Maximum height allowed along the Curry Street frontage is 3 stories or 36 feet. Stepback of 40 feet required before maximum height may be achieved.

#### ALL EAST/WEST STREETS:

Note: Maximum height varies by Character Area



**MAXIMUM HEIGHT**

Between 60 and 101 feet depending upon Character Area.

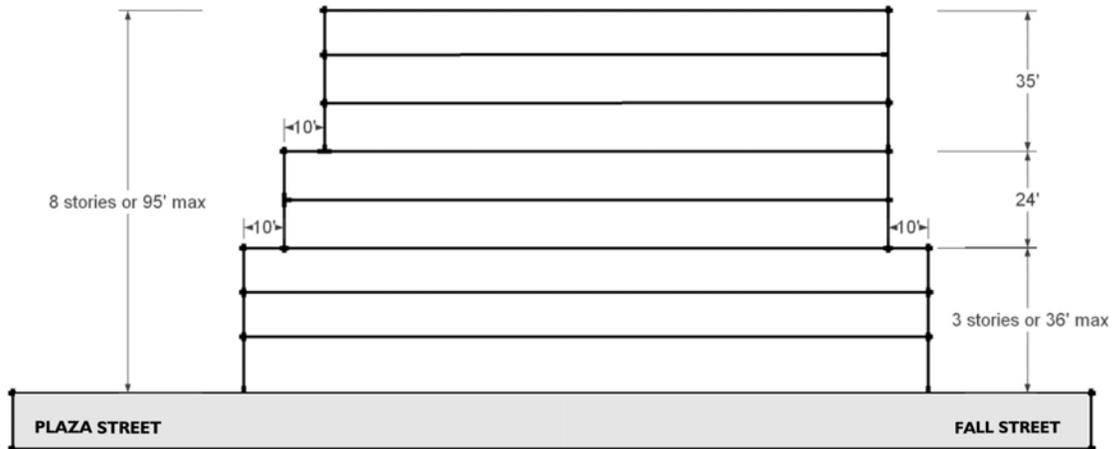
**Exception:** Maximum height on blocks east of Carson Street and between Proctor and Musser Streets or 5th and 6th Streets is 5 stories or 60 feet maximum to preserve views to Capitol.

**REQUIRED TRANSITIONS: ALL EAST/WEST STREETS**

Maximum height allowed along the Carson Street frontage is 3 stories or 36 feet. Stepback of 25 feet required before maximum height may be achieved.

## B. Urban Mixed-Use Character Area: Height Specifications and Required Transitions

### PLAZA STREET



**MAXIMUM HEIGHT**

Maximum height is 8 stories or 95 feet.

**Exception:** Maximum height on blocks between Proctor and Musser Streets and 5th and 6th Streets is 5 stories or 60 feet maximum to preserve views to Capitol.

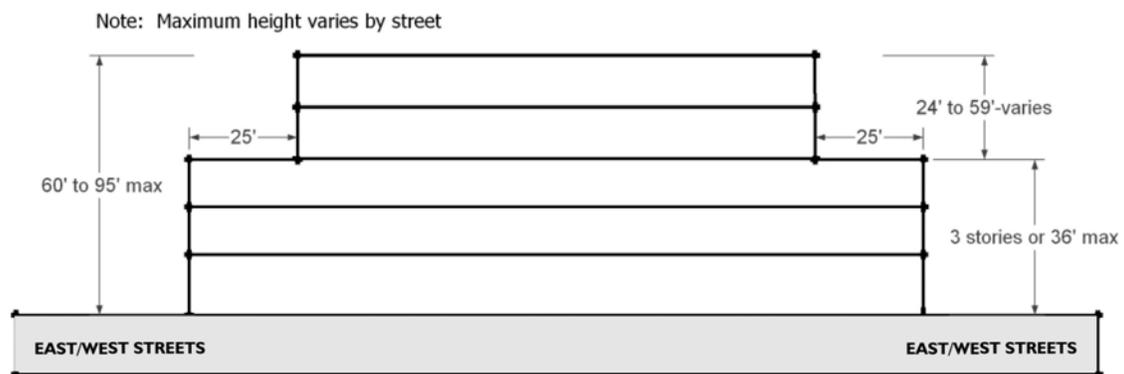
**REQUIRED TRANSITIONS: FALL STREET**

Maximum height allowed along the Fall Street frontage is 3 stories or 36 feet. Stepback of 10 feet required before maximum height may be achieved.

**REQUIRED TRANSITIONS: PLAZA STREET**

Maximum height allowed along the Plaza Street frontage is 3 stories or 36 feet. Stepback of 10 feet required before additional 24 feet may be achieved. Additional stepback of 10 feet required before maximum height may be achieved.

### ALL EAST/WEST STREETS



Note: Maximum height varies by street

**MAXIMUM HEIGHT**

Maximum height is 8 stories or 95 feet.

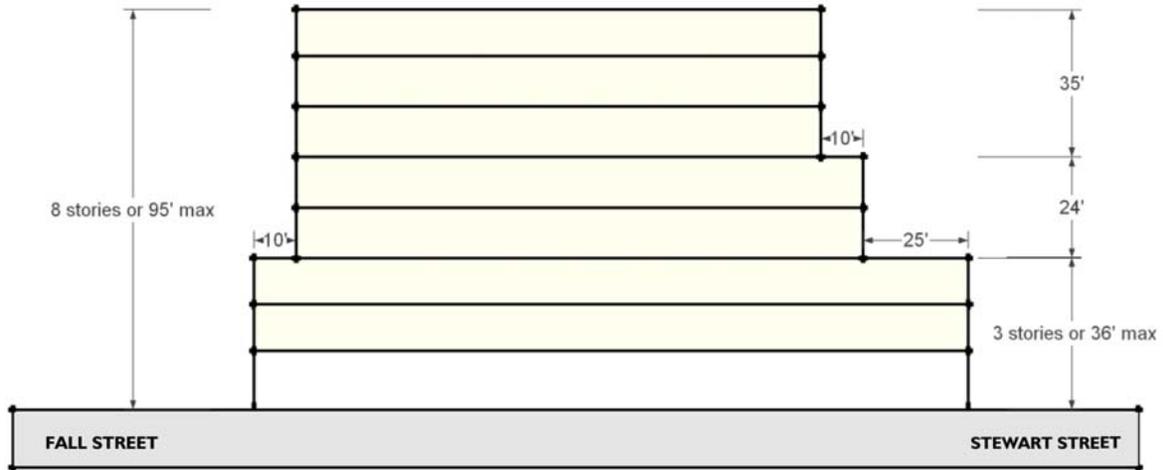
**Exception:** Maximum height on blocks between Proctor and Musser Streets and 5th and 6th Streets is 5 stories or 60 feet maximum to preserve views to Capitol.

**REQUIRED TRANSITIONS: EAST/WEST STREETS**

Maximum height allowed along all east/west street frontages is 3 stories or 36 feet. Stepback of 25 feet required before maximum height may be achieved.

## B. Urban Mixed-Use Character Area: Height Specifications and Required Transitions

### STEWART STREET



#### MAXIMUM HEIGHT

Maximum height is 8 stories or 95 feet.

**Exception:** Maximum height on blocks between Proctor and Musser Streets and 5th and 6th Streets is 5 stories or 60 feet maximum to preserve views to Capitol.

#### REQUIRED TRANSITIONS: FALL STREET

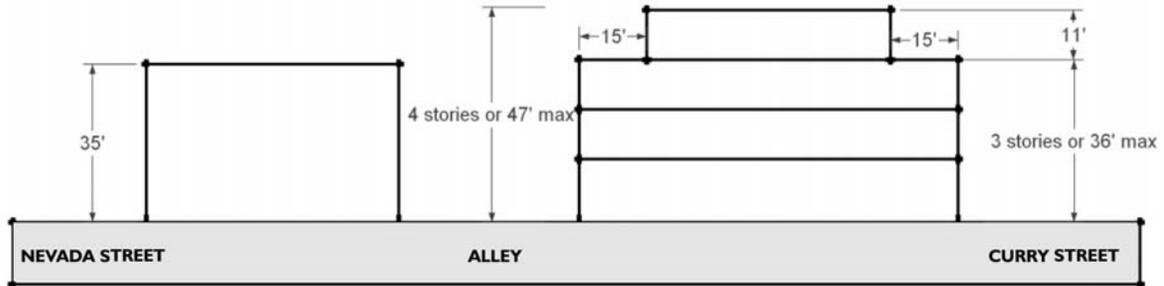
Maximum height allowed along the Fall Street frontage is 3 stories or 36 feet. Stepback of 10 feet required before maximum height may be achieved.

#### REQUIRED TRANSITIONS: STEWART STREET

Maximum height allowed along the Stewart Street frontage is 3 stories or 36 feet. Stepback of 25 feet required before additional 24 feet may be achieved. Additional stepback of 10 feet required before maximum height may be achieved.

### C. Neighborhood Transition Character Area: Height Specifications and Required Transitions

#### CURRY STREET 2ND ST TO JOHN ST



**MAXIMUM HEIGHT**

Maximum height is 4 stories or 47 feet.

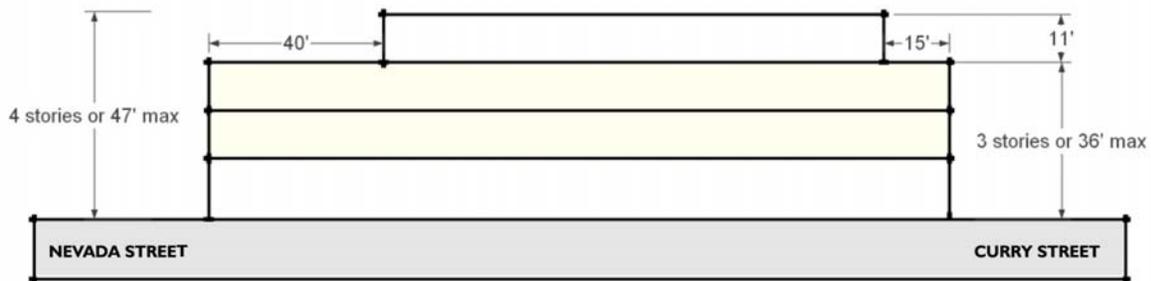
**REQUIRED TRANSITIONS: ALLEY**

Maximum height allowed along the alley is 3 stories or 36 feet. Stepback of 15 feet required before maximum height may be achieved.

**REQUIRED TRANSITIONS: CURRY STREET**

Maximum height allowed along the Curry Street frontage is 3 stories or 36 feet. Stepback of 15 feet required before maximum height may be achieved.

#### CURRY STREET: 2ND ST TO 9TH ST



**MAXIMUM HEIGHT**

Maximum height is 4 stories or 47 feet.

**REQUIRED TRANSITIONS: NEVADA STREET**

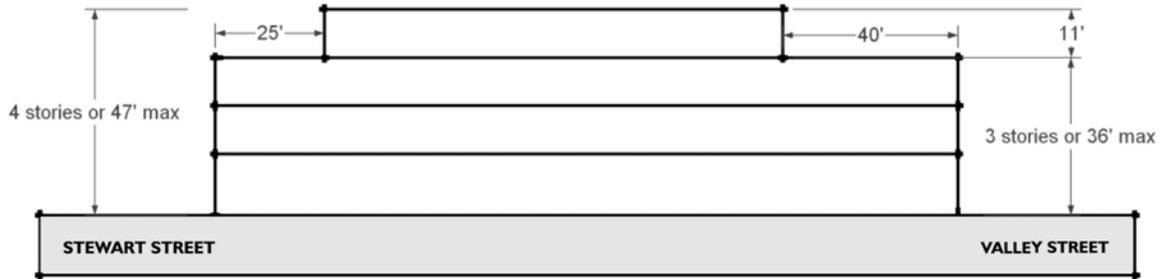
Maximum height allowed along Nevada Street frontage is 3 stories or 36 feet. Stepback of 40 feet required before maximum height may be achieved.

**REQUIRED TRANSITIONS: CURRY STREET**

Maximum height allowed along Curry Street frontage is 3 stories or 36 feet. Stepback of 15 feet required before maximum height may be achieved.

### C. Neighborhood Transition Character Area: Height Specifications and Required Transitions

#### STEWART STREET: MUSSER ST TO WASHINGTON ST



**MAXIMUM HEIGHT**

Maximum height is 4 stories or 47 feet.

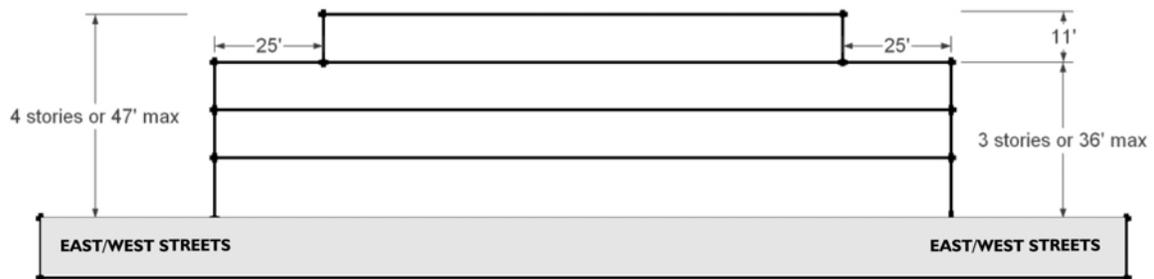
**REQUIRED TRANSITIONS: STEWART STREET**

Maximum height allowed along the Stewart Street frontage is 3 stories or 36 feet. Stepback of 25 feet required before maximum height may be achieved.

**REQUIRED TRANSITIONS: VALLEY STREET**

Maximum height allowed along the Valley Street frontage is 3 stories or 36 feet. Stepback of 40 feet required before maximum height may be achieved.

#### ALL EAST/WEST STREETS



**MAXIMUM HEIGHT**

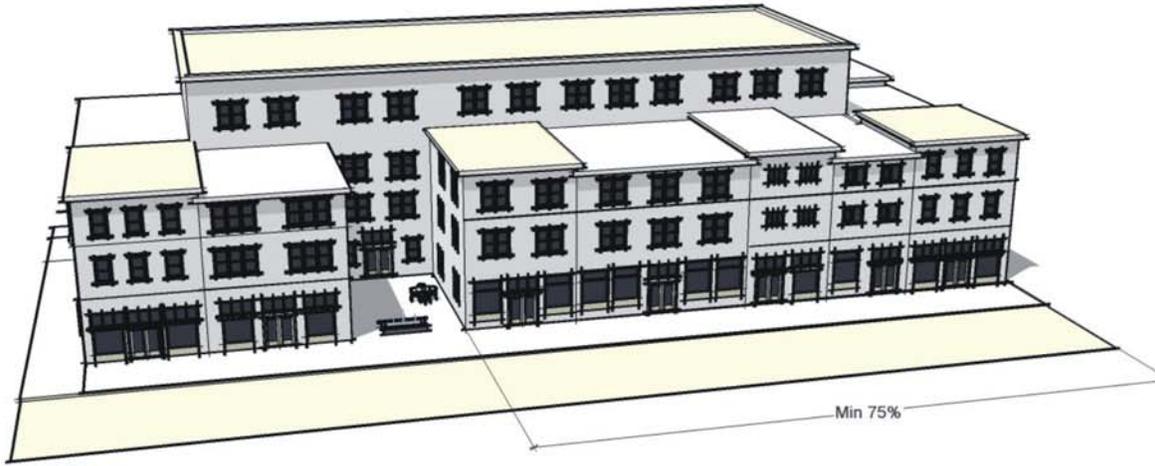
Maximum height is 4 stories or 47 feet.

**REQUIRED TRANSITIONS: EAST/WEST STREETS**

Maximum height allowed along all east/west street frontages is 3 stories or 36 feet. Stepback of 25 feet required before maximum height may be achieved.

### D. Site Layout/Building Orientation

#### MAIN STREET MIXED-USE AND URBAN MIXED-USE



**MINIMUM STREET FRONTAGE**

A minimum of 75% of the building wall must be built to within 10 feet of the property line. Excludes public areas designated as outdoor gathering space.

**SIDE/REAR SETBACK**

None required.

**MAXIMUM LOT COVERAGE**

None.

#### NEIGHBORHOOD TRANSITION

**Infill Development**

**Existing Historic Structures**



**SETBACKS**

None required, except where infill development occurs adjacent to historic structure, in which case, contextual setbacks shall be utilized.

**MAXIMUM LOT COVERAGE**

70 percent.

## VI. BUILDING TYPES (DIV. 6.8)

### A. APPLICABILITY

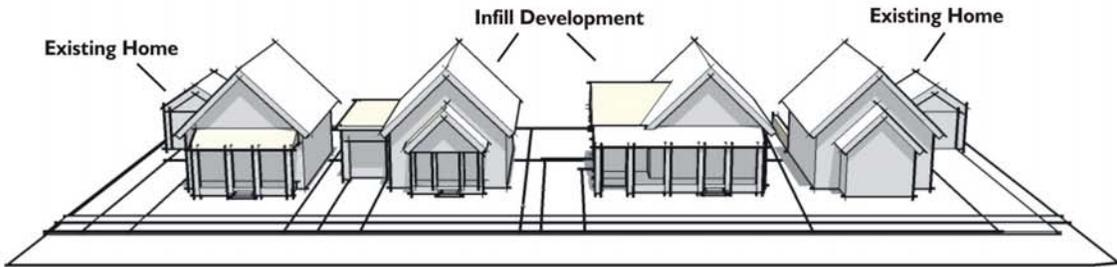
Building types desired within the Downtown Mixed-Use District can be organized into four categories based upon their scale and distinctive characteristics (e.g., urban vs. residential). One or more of the four categories of building types is permitted within each character area, as noted below. Building types are intended to be conceptual only—they do not constitute a specific design and are intended to be applied within the context of the General Development Standards and Guidelines and the Building Envelope Standards contained in this article. Building types are illustrated on the pages that follow.

### B. BUILDING TYPE

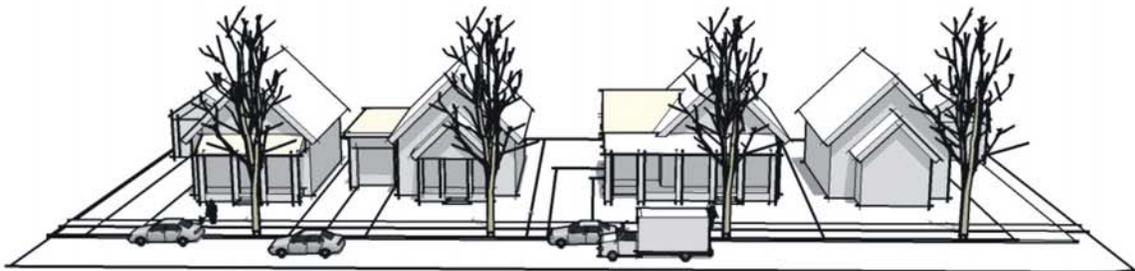
<b><i>BUILDING TYPE</i></b>	<b><i>APPLICABLE CHARACTER AREA</i></b>
A: Single Unit/Residential Character	Neighborhood Transition
B: Two or more units/Residential Character	Downtown Mixed-Use; Urban Mixed-Use; Neighborhood Transition
C: Multi-Unit/Urban Residential Character	Downtown Mixed-Use; Urban Mixed-Use
D: Mixed-Use Urban Character	Downtown Mixed-Use; Urban Mixed-Use

**Building Type: A**

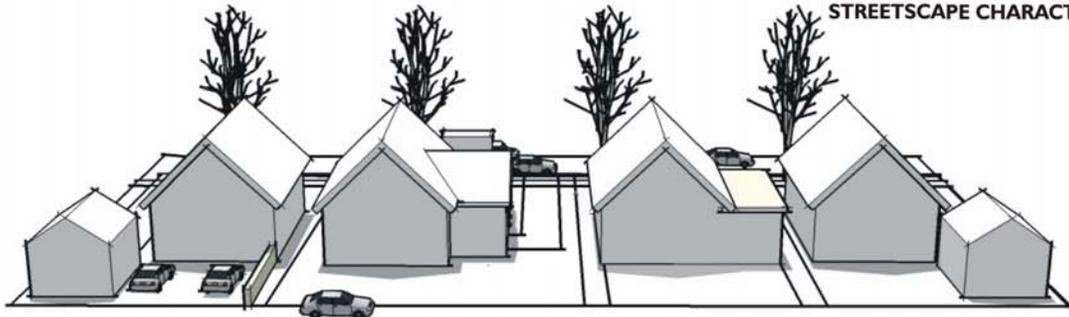
**SINGLE UNIT/RESIDENTIAL CHARACTER**



**BUILDING MASSING/FORM**



**STREETScape CHARACTER**



**REAR YARD W/ALLEY ACCESS**

**Characteristics**

**BUILDING MASSING/FORM**

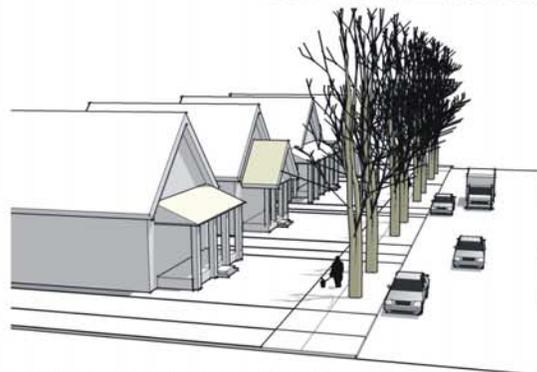
Scale and massing of individual buildings is consistent with the residential character of the surrounding neighborhood context.

**STREETScape CHARACTER**

- Homes separated through use of a side setback.
- Building entrances oriented to the primary street frontage.

**REAR YARD W/ALLEY ACCESS**

Parking accommodated in enclosed garages, on-street, and/or in surface lots behind structures.

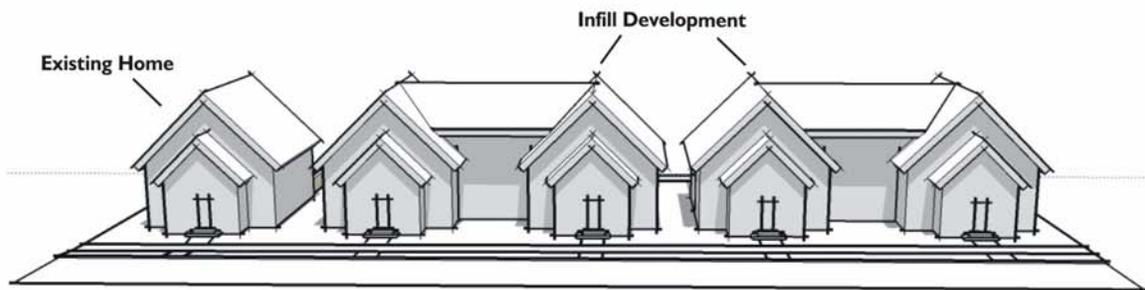


**RELATIONSHIP TO THE STREET**

- Broad front yard setback.
- Sidewalk separated from street by planting area and regularly spaced street trees.

**Building Type: B**

**TWO OR MORE UNITS/RESIDENTIAL CHARACTER**



**BUILDING MASSING/FORM**



**STREETScape CHARACTER**



**REAR YARD W/ALLEY ACCESS**

**Characteristics**

**BUILDING MASSING/FORM**

Scale and massing of multi-unit buildings designed to appear as a large single-family home when viewed from the street, allowing for the incorporation of a variety of housing types and compatible non-residential uses while protecting the residential character of the neighborhood.

**STREETScape CHARACTER**

- Side setback maintained to preserve single-family character of the neighborhood.
- Building entrances oriented to the primary street frontage or a central courtyard.

**REAR YARD**

Parking accommodated in enclosed garages, on-street, and/or in surface lots behind structures (office or live/work use)

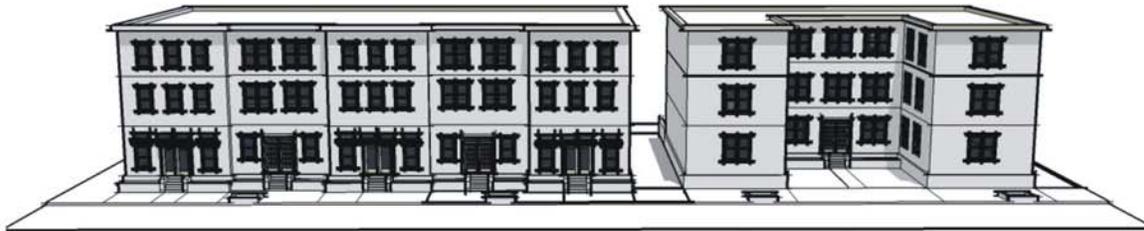


**RELATIONSHIP TO THE STREET**

- Broad front yard setback.
- Sidewalk separated from street by a planting area and regularly spaced street trees.

**Building Type: C**

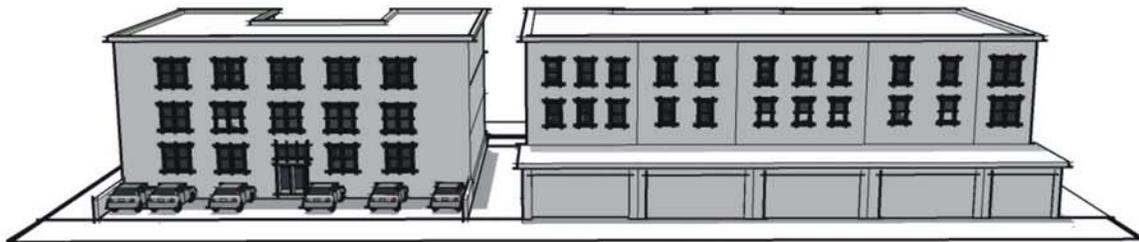
**MULTI-UNIT/URBAN RESIDENTIAL CHARACTER**



**BUILDING MASSING/Form**



**STREETScape CHARACTER**



**REAR YARD W/ALLEY ACCESS**

**Characteristics**

**BUILDING MASSING/Form**

Buildings are typically more blocky and urban in form than those in the Neighborhood Transition Character Area.

**STREETScape CHARACTER**

- Front facade is built to the back of streetscape edge, except where outdoor gathering spaces/community amenities are provided.
- Buildings are built to side lot lines in most cases, although setbacks may be appropriate when providing transitions to a surrounding neighborhood or to an existing historic structure.
- Building entrances oriented to the primary street frontage or a central courtyard.

**REAR YARD W/ALLEY ACCESS**

Parking accommodated in enclosed garages, on-street, and/or in surface lots behind structures.



**RELATIONSHIP TO THE STREET**

- Entrances are typically raised above the sidewalk level.
- Sidewalk is wide to accommodate pedestrian traffic and street furniture.
- Street trees placed in grates or surrounded by planting areas.

**Building Type: D**

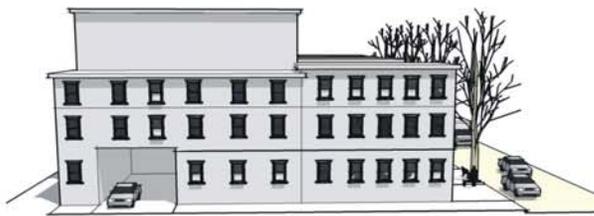
**MIXED-USE/URBAN CHARACTER**



**BUILDING MASSING/FORM**



**STREETScape CHARACTER**



**STRUCTURED PARKING ACCESS**



**RELATIONSHIP TO THE STREET**

**Characteristics**

**BUILDING MASSING/FORM**

- Buildings are typically more blocky and urban in form than those in the Neighborhood Transition Character Area and may encompass all or a portion of a city block.
- Large building frontage is modulated to provide the appearance of multiple smaller buildings with varied heights and widths.
- Parking structure is "wrapped" with liner buildings along the street frontage.

**RELATIONSHIP TO THE STREET**

- Sidewalk is wide to accommodate pedestrian traffic and street furniture.
- Street trees placed in grates or surrounded by planting areas.

**STRUCTURED PARKING ACCESS**

Access to internal parking structure is provided using a side street entrance/exit.

**STREETScape CHARACTER**

- Front facade is built to the back of streetscape edge, except where outdoor gathering spaces/community amenities are provided
- Buildings are built to side lot lines in most cases, although setbacks may be appropriate when providing transitions to a surrounding neighborhood or to an existing historic structure.
- Building entrances oriented to the primary street frontage.

## VII. DEFINITIONS (18.03)

**Alcoholic Beverage Sales (accessory to restaurant).** A retail business accessory to a restaurant (see definition of “Restaurant”) that is licensed to serve beverages for on-premises consumption, or off the premises consumption if beverages are in a sealed or corked container.

**Alcoholic Beverages and Liquor, Retail.** A licensed establishment that sells alcoholic beverages and liquor to consumers only, and not for resale, in original sealed or corked containers for consumption off the premises.

**Bank (no drive-thru).** An institution where money is deposited, kept, lent, or exchanged, but not including commercial establishments engaged primarily in payday lending. Does not include drive-thru facilities.

**Bank (drive-thru).** An institution where money is deposited, kept, lent, or exchanged, but not including commercial establishments engaged primarily in payday lending. May include drive-thru facilities.

**Building Mass.** The three-dimensional bulk of a building height, width, and depth.

**Building Scale.** The size and proportion of a building relative to surrounding buildings and environs, adjacent streets, and pedestrians.

**Carpet and Floor Covering, Retail.** An establishment primarily engaged in the sale of carpet or floor covering and related materials.

**Character.** Those attributes, qualities, and features that make up and distinguish a neighborhood, street, or an individual development project and give such place or project a sense of purpose, function, definition, and uniqueness.

**Convention Center.** A facility designed to accommodate 500 or more persons and used for assembly, which may include conventions, conferences, seminars, product displays, recreation activities, and entertainment functions, along with accessory functions including temporary outdoor displays, and food and beverage preparation and service for on-premise consumption.

**Drive through Use.** An establishment which by design, physical facilities, service or packaging procedures encourages or permits customers to receive services or obtain goods while remaining in their motor vehicles..

**Furniture and Home Furnishings, Office and Home (including Rental).** An establishment that specializes in the sale or rental of any or all of the following: new, used, finished, or unfinished furniture including kitchen cabinets, office desk equipment, and other related home and office furniture and accessory items. This definition does not include appliances.

**Hanging Sign.** A sign attached to and located below any eave, roof overhang, canopy, or awning.

**Infill.** Development on a vacant or substantially vacant tract of land surrounded by existing development.

**Information Kiosk.** A free-standing structure upon which temporary information and/or posters, notices, and announcements are posted, or a free-standing building with one or more open sides from which commercial activities are conducted.

**Jail or Correctional Facility.** A publicly or privately operated facility housing persons awaiting trial or persons serving a sentence after being found guilty of a criminal offense.

**Live/Work Dwelling.** A dwelling unit used for both dwelling purposes and any nonresidential use permitted in the zoning district in which the unit is located, provided that not more than two persons who do not reside in the unit are employed on the premises.

**Major Modification and/or Expansion.** Project involving an increase in an existing structure's total square footage by more than fifty percent.

**Minor Modification and/or Expansion.** Project involving an increase in an existing structure's total square footage by less than fifty percent.

**Personal Services.** A facility for the sale of personal services or an establishment primarily engaged in providing services involving the care of a person or his or personal goods or apparel, but not including personal storage. Typical personal services include barber/beauty shop, shoe repair, tailor, instructional arts studio, photography studio, hand-crafted art studio, safe-deposit boxes, travel bureau, house cleaning services, weight reduction centers or florist (excluding greenhouses).

**Podium Parking.** Parking garage that is completely enclosed at the ground level of a building, beneath the building's occupied levels. Podium parking is generally designed with an open floor plan and a single access point to serve multiple users.

**Primary Building.** The building or structure on a site which is used to accommodate the primary permitted use. When there are multiple buildings used to accommodate the primary permitted use, the primary building shall be the one containing the greatest amount of gross floor area.

**Primary Street Frontage.** Street frontage to which the primary building on the site is oriented towards and visible from. The primary street carries the most traffic volume. Primary street frontages do not include alleys or other secondary access points.

**Projecting Sign.** A sign other than a wall sign which is attached to and projects either perpendicular to or at any angle from a building.

**Public Parking Lot.** A publicly-owned and operated surface or structured facility for parking that is ancillary or accessory to a primary use and includes the access driveways to and from those structures.

**Public Plazas, Square, and Community Amenities.** Administrative and community/cultural buildings, uses, and structures, including buildings, lots, and facilities owned, used, or operated by any governmental agency where the public is directly or indirectly invited to visit or permitted to congregate.

**Public Restroom.** A facility that provides lavatory services, including toilet(s), for public use and which is operated and maintained by a municipality or governmental agency.

**Public Safety Facilities (police dispatch, fire substations).** Facilities operated by public agencies, including fire stations, other fire prevention and firefighting facilities, police and sheriff substations and headquarters, including related administrative facilities and interim incarceration facilities.

**Redevelopment.** Development on a tract of land with existing structures where all or most of the existing structures would be razed and a new structure or structures built.

**Restaurant, with or without outdoor seating.** A business establishment whose principal business is the preparation and sale of food in a ready to consume state in non-disposable containers and where the customer consumes those meals while seated at a table within the restaurant building or on an adjoining outdoor seating area used by the restaurant.

**Retail Sales.** An establishment engaged in selling goods or merchandise to the general public for personal or household consumption but not for wholesale and rendering services incidental to the sale of such goods. Typical merchandise includes clothing and other apparel, equipment for hobbies or sports, gifts, flowers and household plants, dry goods, groceries, convenience, specialty foods, toys, furniture, books, computers, stationary, hardware and similar consumer goods. The term also includes Secondhand Dealers but excludes Secondhand Businesses as defined in this title.

**Secondhand Business.** A business dealing in used merchandise or accepting donations of used merchandise for resale, but does not mean antiques, junkyard, pawn shop or secondhand dealers as otherwise defined in this title.

**Secondhand Dealer.** A specialty shop which deals solely in one kind of used commodity with no new commodities, or a business in which the sale of secondhand or used articles is incidental to the sale of new articles of the same kind. For purposes of this definition, the sale of secondhand or used articles is deemed to be incidental to the sale of new articles if no more than 40% of the gross floor area of the business is devoted to the sale of used articles. The term Secondhand Dealer includes the sale of jewelry and scrap precious metals, but does not include the sale of junk in junkyards as defined in this Chapter, the sale of used cars or the sale of other items which the City determines do not fit within the intent of this term. The term does not include the buying and selling of foreign or domestic coins for numismatic purposes, which shall be allowed where retail sales of new merchandise is permitted.

**Surface Parking Lot (as a primary use).** A publicly or privately-owned and operated surface lot whose primary use is for parking. This definition includes the access driveways to and from such lot.

**Tandem Parking.** A parking space which is positioned in such a manner that it is necessary to pass through one parking space to access the other from a street, lane or driveway.